

Inventory and Analysis **Neighborhood Infill Guidelines**

Crown Mill East Dalton Fort Hill Thread Mill

Prepared for:



City of Dalton
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Table of Contents

Introduction	page 1
Section I: Definitions	page 2
Building Use	page 2
Site Layout	page 3
Architectural Styles	page 4
Section II: Inventory	page 6
Crown Mill Neighborhood	page 7
East Dalton Neighborhood	page 8
Fort Hill Neighborhood	page 9
Thread Mill Neighborhood	page 10
Section III: Zoning Analysis	page 11
Existing Zoning Designations	page 11
Zoning and Historic Form	page 13
Infill Challenges Table	page 14

Introduction

This report provides an inventory and summary of land use and building types, traditional styles and characteristics, and site layout considerations within the Crown Mill, Fort Hill, East Dalton, and Thread Mill neighborhoods of the City of Dalton. The report is the summary of a photo, land use and site layout survey of each neighborhood, as well as a review of the existing City of Dalton Zoning Ordinance. It also is a recommendation for architectural and site planning features that can be used to promote the ensure the compatibility of infill development with the character of these Dalton neighborhoods.

The document is organized into three sections. Section I defines existing building use and building types, traditional styles and characteristics, and site layout issues identified in this survey. Section II records the occurrences of these land uses, building types, traditional styles and characteristics, and site layout issues within each neighborhood; this section also identifies other unique characteristics of such neighborhood. Section III analyzes the interrelationship between these existing neighborhood conditions and City of Dalton Zoning regulations.



A home in the Fort Hill Neighborhood

Section I: Definitions

This section defines existing building use and building types, traditional styles and characteristics, and site layout issues identified in this survey. It is intended to serve as a reference for specific neighborhood features identified in Section II.

Building Use

Single-Family Home

A residential building containing one dwelling unit.

Duplex

A residential building containing two dwelling units.

Neighborhood Commercial

A commercial building businesses and primarily serving residents living within one-quarter to one-half mile.

Building Types

The massing of buildings and their associated uses can be divided for clear understanding. In general, building types traditionally found in the studied neighborhoods are simple massings characterized by the number of rooms wide they are, roofs, and use. The following types are based on those identified in *A Field Guide to American Houses* by Virginia & Lee McAlester, copyright 1984.

Front Gabled Double Pen

This single-family or duplex residential building type is generally two rooms wide at its front and with a roof ridge running perpendicular to the street. In the case of a single-family building, the front door is generally centered or slightly off-centered, while duplex variations may include two symmetrical front doors on either side. Front gabled porches are provided at the front, and may be centered or located to one side. In Dalton this building type is typically one or one and one-half stories high.

Side Gabled Double Pen

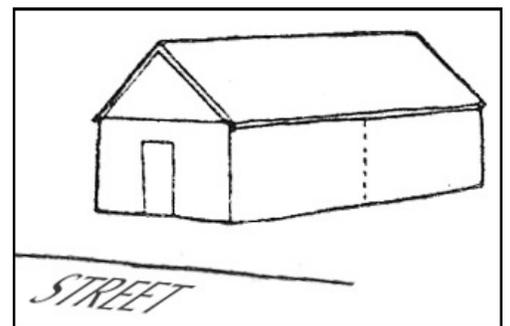
This single-family or duplex residential building type is similar in shape and size to the Front Gabled Double Pen except that the building roof ridge runs parallel to the street and may include a partial hip. In the case of a single-family building, the front door is



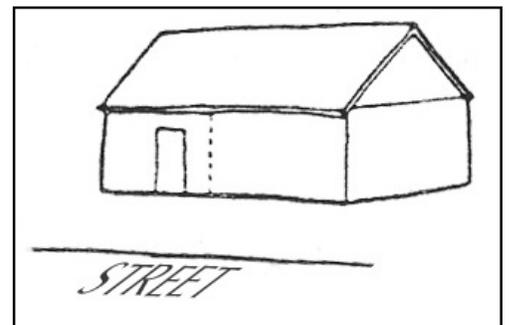
A duplex in the Crown Mill Neighborhood



A neighborhood commercial building in the East Dalton Neighborhood



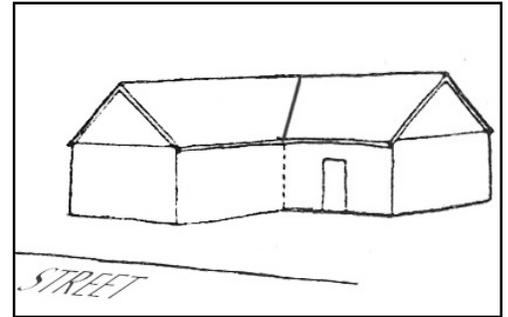
Front Gabled Double Pen



generally, but not always, centered, while duplex variations may include two symmetrical front doors on either side. Simple porches are provided at the front, and are generally span the majority of the building's front facade. This building type is typically one or one and one-half stories high.

Cross Gabled Double Pen

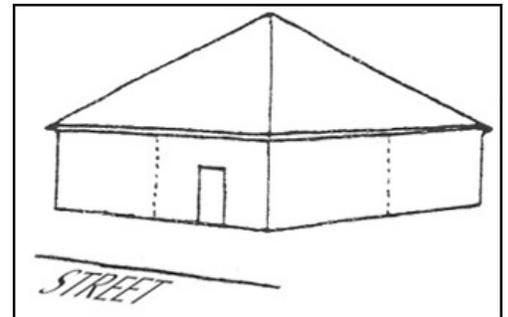
This single-family residential building type is generally two rooms wide at its front with a roof consisting of two equal elevation gabled roofs intersecting in an L-shape. One such roof is front gabled towards the street, while the other is side gabled and set farther from the street. Doors are provided on the side gabled area, while a porch is provided in the space defined by the two roofs. This building type is typically one or one and one-half stories high.



Cross Gabled Double Pen

Pyramidal Four Square

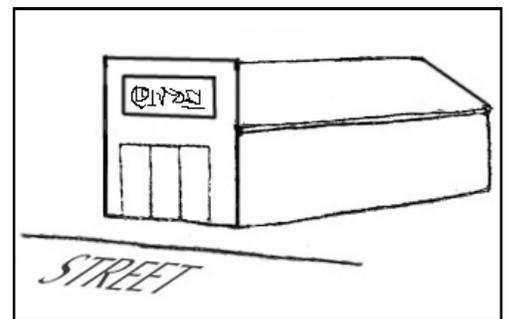
This single-family residential building type is generally two rooms wide at its front and two rooms deep with a pyramid shaped roof, which may include gabled wings. Doors are provided on-center in the front where no wings exist, and to the non-wing side where wings exist. Porches are provided at front when no wings exist, and the in the space defined by the two roofs where wings exist. This building type is typically one or one and one-half stories high.



Pyramidal Four Square

Neighborhood Commercial

This commercial building type is generally a simple box divided into twenty-to-thirty feet wide storefronts at the front. The roof may be a single plain sloping down from front to back, or it may be front gabled. Regardless, along the front facade the roofline is horizontal in nature through provision of a parapet wall, which may be flat or may step in a pyramidal fashion. Doors are provided at the center of each storefront unit and are generally recessed two to three feet. This building type is typically one story high, although precedents exist in downtown Dalton for taller buildings.



Neighborhood Commercial

Site Layout

An understanding of the way a building sits on its lot is essential to establishing the elements defining a community's pattern and so-called "urban fabric". The following defines the elements that represent basic components of site layout.

Front Yard

An open unoccupied space on the same lot with a principal building, extending the full width of the lot, and situated between the



street or road and the front line of the building. Porches (without habitable space above them) are included in the front yard.

Rear Yard

An open unoccupied space on the same lot with a principal building, extending the full width of the lot and situated between the rear line of the lot and the rear line of the building.

Side Yard

An open unoccupied space on the same lot with a principal building, situated between the building and the side lot line and extending from the front line to the rear yard.

Lot Width

The distance between the side lot lines measured at the front building setback.

Architectural Styles

The housing types identified earlier in this section can be executed in a variety of architectural styles. The following represent the major styles evident in the neighborhoods studied.

National Folk

The National Folk style emerged in the second half of the nineteenth century as the railroads brought change in traditional building materials and construction techniques across the nation. This style represents an interpretation of traditional local housing types utilizing mass-produced materials transported from other parts of the nation. As such, this style exhibits some geographic variations. In Dalton, the National Folk style serves a basis for most homes, with other styles manifesting themselves through details.

Key characters of the National Folk style in Dalton are:

- Simple massing; usually front or side gabled roofs
- Uniform roof heights
- Horizontal clapboard siding
- Exposed rafters
- Ample front porches
- Vertically proportioned windows

Craftsman

Craftsman is a true American original originating in California at the turn of the century. The style is primarily found in bungalow homes (This is a product of the Georgia Department of Community Affairs Quality Growth Grant Program)



These home in the Crown Mill neighborhood have small side yards



A National Folk style home in Dalton



A simple Craftsman home with exposed rafters

Arts and Crafts movement and oriental wooden architecture. In the neighborhoods studied, the Craftsman style has a limited expression through details on what are otherwise National Folk homes.

Key characteristics of the Craftsman style are:

- Asymmetrical forms; usually a busy roofscape
- Exposed wood elements; heavy battered columns, beams, triangular braces, rafter tails
- Usually one-story home with partial or full front porch
- Generally, multiple front-gabled roof of low pitch
- Vertically proportioned windows



A home with minimal Craftsman detailing

Queen Anne

Queen Anne was the dominant style of homes from 1870 to 1900; it continued in the southern states through the 1920s. The Queen Anne style is Victorian; however, in the neighborhoods of Dalton studied the less ornamental free-classical style variation is featured.

Key characteristics of the Queen Anne style are:

- Irregular shape (usually not symmetrical); often single story
- Partial or full width porch
- Steeply hipped roof with lower cross gables
- Usually clapboard; gabled roof ends are occasionally shingled for accent
- Vertically proportioned windows



A Queen Anne home with a complex roof structure

In the neighborhoods studied, the Queen Anne style is rare, but nevertheless contributes to the architectural palette of each.

Folk Victorian

Folk Victorian was concurred with the Queen Anne style from 1870 to 1910. Unlike Queen Anne, which was primarily found in middle and upper class residences, Folk Victorian was a simplified, working class Victorian interpretation. Oftentimes Folk Victorian detailing was added to homes that were otherwise Folk National.

Key characteristics of the Folk Victorian style are:

- Eastlake/spindelwork detailing on porches
- Partial or full width porch
- Steeply hipped roof with lower cross gables
- Usually clapboard; gabled roof ends are occasionally shingled for accent
- Vertically proportioned windows



A Folk Victorian home with spindlework detailing on the porch

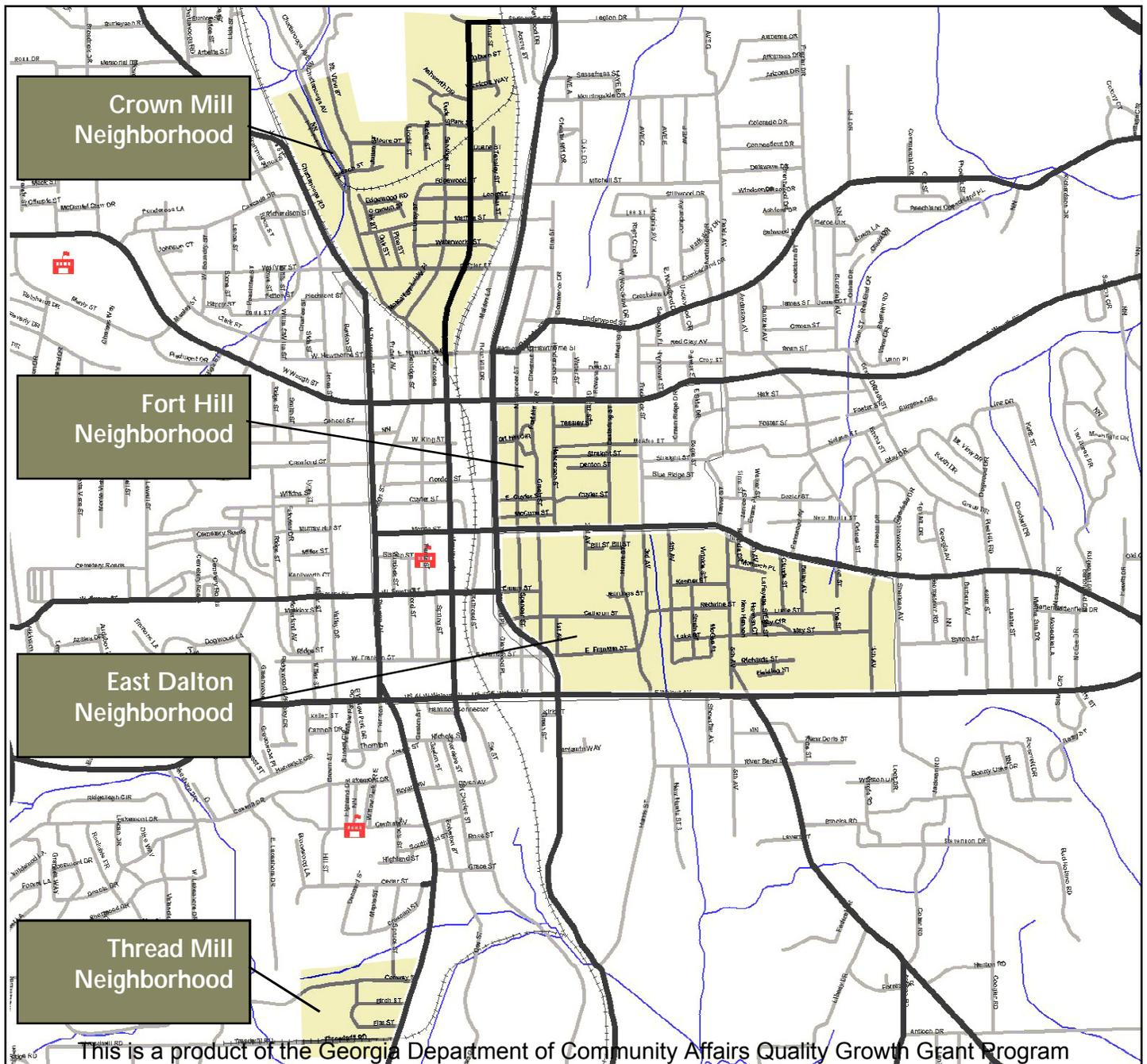
Folk Victorian homes are prevalent throughout the neighborhoods studied, owing to their traditional role as working class neighborhoods. This is a product of the Georgia Department of Community Affairs Quality Growth Grant Program.

Section II: Inventory

This section records the occurrences of the building types, traditional styles and characteristics, and site layout issues identified in Section I within each neighborhood. If there is no prevalent pattern, or one with much variation, it is so noted. This section also identifies other unique characteristics of the individual neighborhoods that contribute to their own unique identity.



A home adjacent to the Fort Hill School



Crown Mill Neighborhood

Overview

The Crown Mill neighborhood was developed as a workers' village during the second half of the 19th century. Field surveys suggest the neighborhood was not developed as part of a unified plan, but developed haphazardly as the need for housing warranted. Traditionally, commercial uses were located along North Hamilton Street and near the mill, although the current locations of commercial uses represent a conversion from residential to commercial uses.

Building Use

- Single-Family Homes
- Duplexes
- Neighborhood Commercial

Building Types

- Front Gabled Double Pen
- Side Gabled Double Pen
- Cross Gabled Double Pen
- Neighborhood Commercial

Architectural Styles

- National Folk
- Craftsman
- Folk Victorian

Front Yard

- Single-Family or Duplex: 8 to 25 feet; most 15 to 20 feet
- Commercial: 0 to 5 feet; paved for expanded sidewalk area

Rear Yard

- Single-Family or Duplex: *Varies based on lot depth*
- Neighborhood Commercial: *Varies based on lot depth*

Side Yards

- Single-Family or Duplex: 5 to 15 feet
- Neighborhood Commercial: 0 feet

Single-Family or Duplex Lot Width

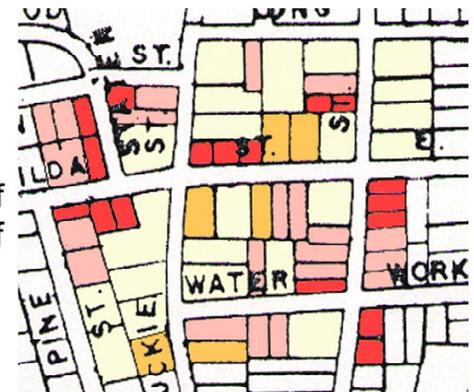
35 feet to 140 feet, most 40 to 70 feet

Single-Family or Duplex Lot Area

2,500 to 20,000 sf; most 4,000 to 8,000 sf

Existing Lot Sizes (representative)

- <5,000 sf
- 5,000-7,499 sf
- 7,500-9,999 sf
- >10,000 sf



Unique Residential Characteristics

- Exposed rafters
- Wood or brick porches
- Horizontal wood siding
- Attic Vents on gables
- At-grade or raised porches

East Dalton Neighborhood

Overview

Most of East Dalton was built as a working and middle class neighborhood during the late 19th century and early 20th century. At first, industrial uses were confined along the rail line, but over time they spread east and displaced residences. Multifamily complexes also displaced single-family homes. Today, the area is primarily industrial or commercial, with a scattering of apartments and a few single-family homes serving as a reminder of earlier times.

Building Use

- *Single-Family Homes*
- *Duplexes*
- *Neighborhood Commercial*

Building Types

- *Front Gabled Double Pen*
- *Side Gabled Double Pen*
- *Neighborhood Commercial*

Architectural Styles

- *National Folk*
- *Craftsman*

Front Yard

- *Single-Family or Duplex: 5 to 25 feet; most 15 to 20 feet*
- *Commercial: 0 to 10 feet; paved for expanded sidewalk area*

Rear Yard

- *Single-Family or Duplex: Varies based on lot depth*
- *Neighborhood Commercial: Varies based on lot depth*

Side Yards

- *Single-Family or Duplex: 5 to 10 feet*
- *Neighborhood Commercial: 0 feet*

Single-Family or Duplex Lot Width

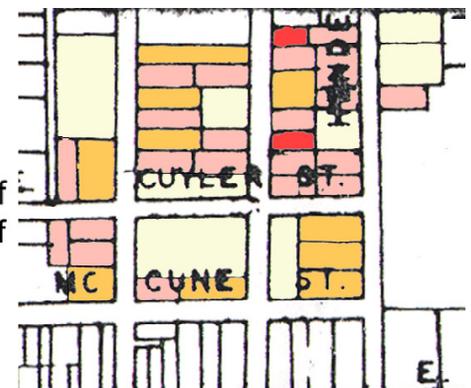
40 to 80 feet; difficult to determine because few historic lots remain

Single-Family or Duplex Lot Area

4,000 to 25,000 sf; difficult to determine because few historic lots remain

Existing Lot Sizes (representative)

- <5,000 sf
- 5,000-7,499 sf
- 7,500-9,999 sf
- >10,000 sf



Unique Characteristics

- *Wood porches*
- *Exposed rafters*
- *Bracketed gable entry porticos over front doors*
- *At-grade or raised porches*
- *Horizontal wood siding*

Fort Hill Neighborhood

Overview

Like East Dalton, the Fort Hill neighborhood was developed as a working and middle class residential in the late 19th century and early 20th century. The centerpiece of the neighborhood is the Fort Hills School, which occupies a prominent location overlooking downtown Dalton. Like East Dalton, the neighborhood has also experienced significant disinvestment, and many vacant lots can be found throughout.



Building Use

- Single-Family Homes
- Duplexes

Building and Land Use Types

- *Front Gabled Double Pen*
- *Pyramidal Four Square*
- *Side Gabled Double Pen*
- *Cross Gabled Double Pen*



Architectural Styles

- *National Folk*
- *Craftsman*
- *Queen Anne*

Front Yard

- Single-Family or Duplex: *5 to 40 feet; most 15 to 30 feet*

Rear Yard

- Single-Family or Duplex: *Varies based on lot depth*

Side Yards

- Single-Family or Duplex: *5 to 20 feet; most 7 to 15 feet*



Single-Family or Duplex Lot Width

45 feet to 80 feet wide; most 45 to 55 feet

Single-Family or Duplex Lot Area

4,250 to 15,500 sf; most 4,500 to 7,500 sf

Unique Characteristics

- *Stone foundations*
- *At-grade or raised porches*
- *Attic Vents on gables*
- *Brick or wood porches*
- *Exposed rafters*
- *Horizontal wood siding*



Thread Mill Neighborhood

Overview

The Thread Mill neighborhood was developed as a workers' village around the Old American Thread Mill during the second half of the 19th century. Field surveys suggests that the neighborhood was developed all at once as part of a simple plan, as all the homes are based on the same basic L-shaped layout. This notion is also supported by the street names, which are all based on species of trees or the mill's name.

Building Use

- *Single-Family Homes*

Building and Land Use Types

- *Side Gabled Double Pen*
- *Pyramidal Four Square*

Architectural Styles

- *National Folk*

Front Yard

- Single-Family: *10 to 20 feet*

Rear Yard

- Single-Family: *Varies based on lot depth*

Side Yards

- Single-Family: *15 to 20 feet*

Single-Family Lot Width

50 feet to 70 feet wide

Single-Family Lot Area

7,500 to 10,000 sf

Unique Characteristics

- Brick foundations
- Wood porches
- Raised porches
- Exposed rafters
- Horizontal wood siding
- Red brick chimneys



Section III: Zoning Analysis

This section examines the relationship between the building types, traditional styles and characteristics, and site layout issues identified in Section II and the existing City of Dalton Zoning Ordinance. Inventorying the consistencies and inconsistencies between built historic forms and uses and the Ordinances is necessary to understanding the degree to which these regulations support new development that is compatible with the historic character of in-town Dalton. Because many of the zoning districts within these four neighborhoods are the same, this section gives a brief review of existing zoning designations within each neighborhood before reviewing the districts themselves.

Existing Zoning Designations

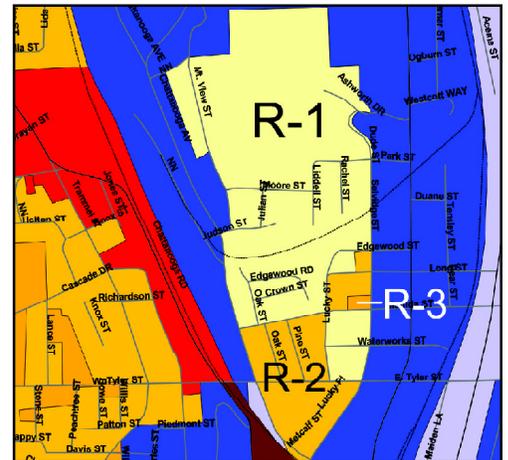
Crown Mill Neighborhood Zoning

The City of Dalton Zoning Map shows seven zoning districts in the Crown Mill neighborhood. These include two industrial districts, two commercial districts, and three residential districts. Industrial districts include M-1 and M-2. These are located on historically industrial areas, including the Crown Mill itself, and other parcels along the rail lines. Commercial districts include C1-A and C3-A. Residential districts include R-1, R-2, and R-3.

See map at right.



Architectural detailing on a home in the Crown Mill neighborhood

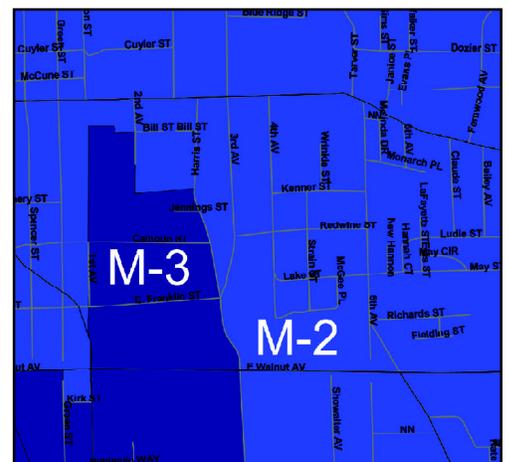


Crown Mill neighborhood zoning map

East Dalton Neighborhood Zoning

There are two zoning districts within the area generally known as East Dalton. These districts include two industrial districts, M-2 and M-3.

See map at right.

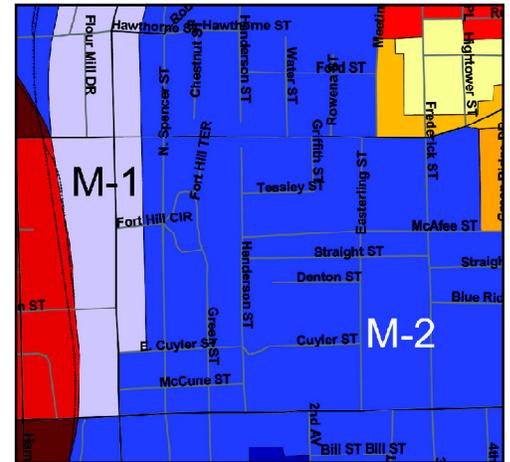


East Dalton neighborhood zoning map

Fort Hill Neighborhood Zoning

Like East Dalton, there are only two zoning districts within the Fort Hill neighborhood. These districts include two industrial districts, M-1 and M-2.

See map at right.

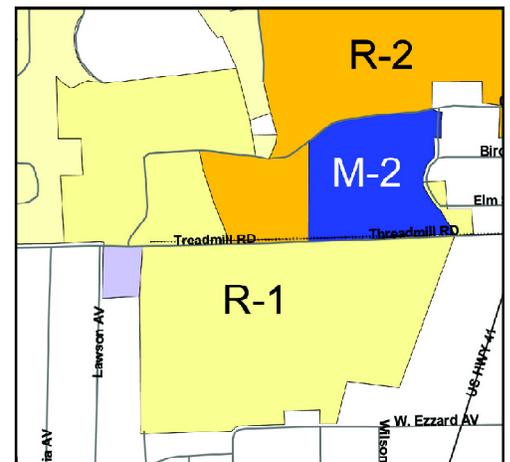


Fort Hill neighborhood zoning map

Thread Mill Neighborhood Zoning

While much of the historic Thread Mill neighborhood is located in unincorporated Whitfield County, the former mill site itself is within the City of Dalton. The site is zoned M-2, while parcels to the south and west are zoned R-1 and R-2, respectively.

See map at right.



Thread Mill neighborhood zoning map

Zoning and Historic Form

Neither the current Zoning Map nor the Zoning Ordinance supports the historic character of the four neighborhoods studied. The City of Dalton is well aware of the undesirability of zoning residential areas such as Fort Hill and East Dalton for manufacturing or industrial uses and is considering rezoning these areas to support residential uses. However, even with such zoning changes, the current residential and commercial zoning districts available to the City do not accurately reflect the current historic patterns that give these neighborhoods their unique sense of place.

The following Infill Challenges Table reviews each of the residential and commercial districts present within these study areas and highlights the inconsistencies between them and the current community character, as well as modern principles of “smart growth”. In the near future, these inconsistencies will be used by the City to best determine changes that must be made to support appropriately scaled infill development efforts.



A street in the Crown Mill neighborhood



Porches historically served as transition between the public realm along the street and the private realm inside the home

Infill Challenges Table

	Code Section	Regulation	Comment
Residential	R-T, R-1, R-2, R-3	Minimum 7,500 sf single-family lot	Historically average 4,000 to 8,000 sf
	R-T, R-2, R-3	Minimum 4,250 sf lot area per duplex unit	Historically average 2,000 to 4,000 sf
	R-T, R-2, R-3	Front yard setbacks vary based on residential building type	Historically setbacks varied by street and not residential building type
	R-T, R-2, R-3	Side yard setbacks vary based on residential building type	Historically setbacks varied by neighborhood and not building type
	R-T	Maximum condominium height of 75 ft.	Historically residential buildings were not this tall
	R-T	Minimum 100 ft. lot width for condominiums	Challenging and excessive for infill projects
	R-2	Minimum sizes for tri-plex and four-plex lots	Challenging and excessive for infill projects
	R-2	Minimum widths for tri-plex and four-plex lots	Challenging and excessive for infill projects
	R-2	Maximum four-plex/condominium height of 75 ft.	Historically residential buildings were not this tall
	R-3	Minimum area per unit for multifamily lots	Challenging and excessive for infill projects
	R-3	Minimum widths for multifamily lots	Challenging and excessive for infill projects
	R-3	Maximum multifamily/condominium height of 75 ft.	Historically residential buildings were not this tall
Commercial	C-1, C-1A, C-2, C-3A	Permitted uses	Certain permitted uses are not appropriate in neighborhood commercial areas
	C-1, C-1A, C-2, C-3A	Front yard setbacks of between 10 and 25 ft., depending on district and street type	Historically commercial buildings were no more than 10 ft. from the back of sidewalk
	C-1, C-1A, C-2, C-3A	Side yard setback of 10 ft.	Historically commercial buildings were built flush with the side lot line
	C-1, C-1A, C-2	Dwelling units not permitted above shops	Above-shop housing is necessary in neighborhood commercial areas
	C-3	Dwelling units not permitted	Housing is key to supporting retail and creating a sense of place
General	Off-street Parking Requirements	Minimum of 2 parking spaces for dwelling units	Excessive for most infill housing types, particularly above-shop units
	Off-street Parking Requirements	Minimum commercial parking requirements	Excessive for neighborhood commercial uses
	Off-street Parking Requirements	Commercial on-site parking requirements	Parking often off-site in neighborhood commercial areas
	Driveway Design	Driveways permitted up to 50 feet in width	Excessive for neighborhood commercial uses
	Accessory Uses and Requirements	Fences and walls up to 6 ft. in height permitted in front yards	Historically, neighborhood commercial uses didn't have fences; residential fences not that
		Lack of design/architectural guidelines	Poorly executed development threatens neighborhood character

ARTICLE ZZZZ. REQUIREMENTS FOR HISTORIC INFILL DISTRICTS

Applicability

The areas eligible for designation as Historic Infill Districts are shown on map Attachment A, which by this reference is incorporated into and made a part of this Article. No other portions of the City of Dalton may be designated any of the districts established herein without an amendment to Attachment A, subject to the requirements of both a text and map amendment, as established in the Zoning Procedures and Standards Ordinance of the City of Dalton.

Illustrations

The illustrations within this Article are graphic depictions of some of the requirements herein. Unless otherwise indicated, each is intended to specifically illustrate only the indicated requirement; all suggestions of style, on-street parking, tree shape and tree grate requirements do not constitute a requirement of this Article. Other principles shown in the illustrations that do not illustrate specific requirements are consistent with other requirements of the Article.

HI General Requirements

General Use Requirements:

At sidewalk level along a public street, all buildings shall provide residential uses for a minimum depth of ten feet from the building façade, or commercial uses for a minimum depth of 20 feet from the building facade, but not parking or storage.

Sidewalks:

All developments shall provide sidewalks within the adjacent public right-of-way, having a minimum width of six feet, unless otherwise specified. See district regulations for additional requirements.

Mailboxes shall be located adjacent to the curb so as to provide a minimum continuous sidewalk clear zone width of four feet.

Front Yard:

Front yards in HI-R, HI-LW, and HI-TH shall be landscaped with the exception of terraces, porches, stoops and walkways, which may occupy a maximum of two-thirds of the yard's horizontal area.

Patio decks shall not be permitted within the front yard in HI-R, HI-LW, and HI-TH districts.

Residential front porches, entries or stoops shall not extend more than ten (10) feet into the front yard.

All front facades, front porches, front steps, and front doors of the principal structure shall face and be parallel to the street.

Mechanical Equipment and Parking Locations

Mechanical equipment shall be located to the side and rear of the principal structure and where possible, in the least visible location. Screening with appropriate plant or fence materials is required if the equipment is otherwise visible from the public right-of-way.

Roof-top equipment such as attic ventilators, HVAC vents, solar panels, communication equipment, air conditioner units, or any service or utilities equipment shall not be visible from street level along any adjacent public right-of-way, provided that ridge vents may be visible from said right-of-way.

Exterior lighting systems shall be designed and installed so as to be directed towards the lot on which it is located and so that no direct light is cast upon adjoining property.

Dumpsters shall not be located between the primary building and the adjacent street and shall be screened from visibility along the sidewalk.

Parking lots or structures shall not be located between a building and adjacent public streets unless an intervening building exists to screen said parking facility from visibility along said streets.

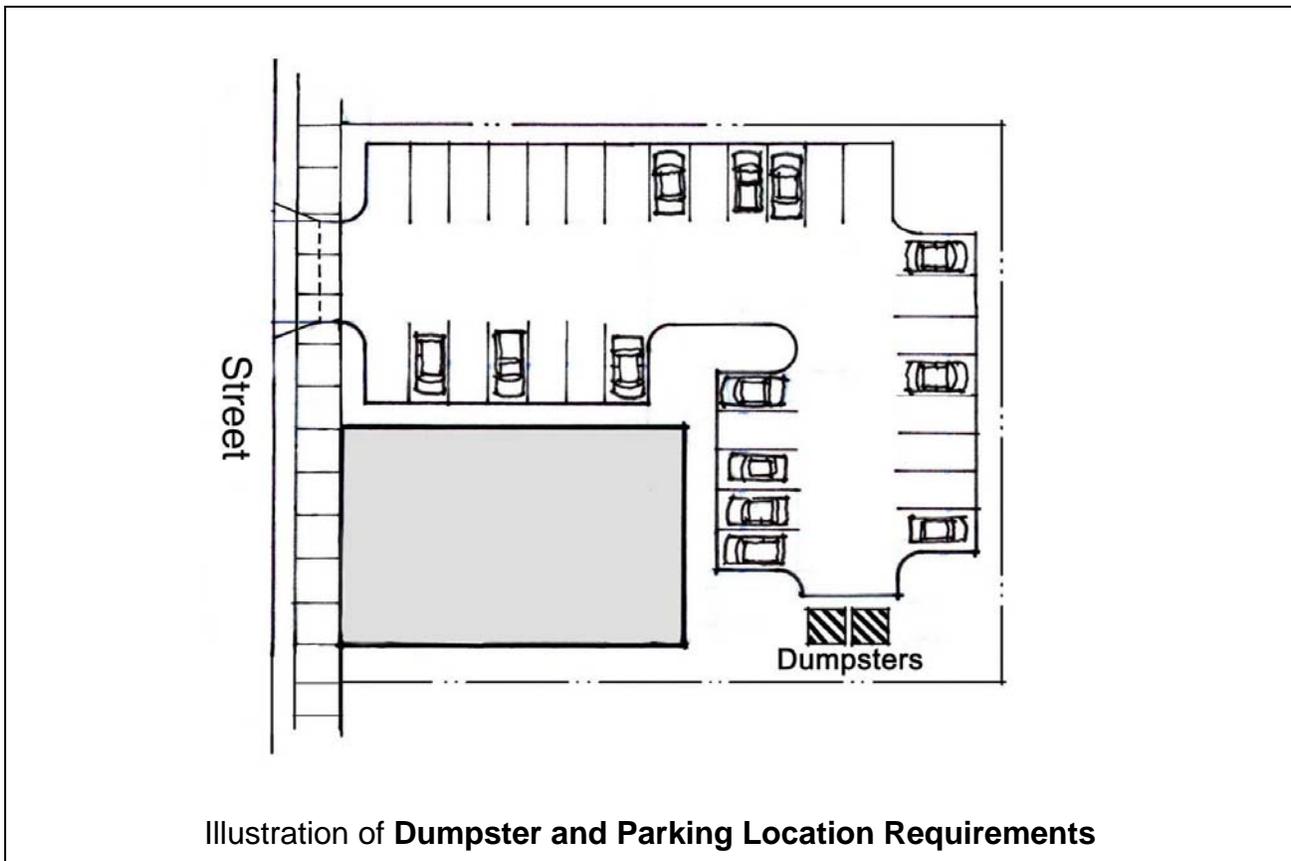


Illustration of **Dumpster and Parking Location Requirements**

Windows:

Windows and storefronts shall utilize clear, unpainted, and untinted glass panels.

Along a wall that faces a street, windows above the first story shall not exceed 50 percent of the total façade area, with each wall being calculated independently.

Driveway Regulations:

Shared driveways between multiple parcels are permitted subject to:

- a. Authorization by subject property owners, and
- b. Establishing easements to ensure the continuity of said access.

Fences:

For residential uses fences shall not exceed four feet in height when located in the front yard. For non-residential uses fences are prohibited within the front yard.

Retaining walls located adjacent to a sidewalk along a street shall not exceed a height of two feet. The combined height of a fence (where otherwise authorized) and retaining wall shall not exceed a height of five feet, unless existing topography prohibits retaining walls of a lesser height. Retaining walls shall be faced with stone, brick or smooth stucco.

No walls, except retaining walls, shall be located within the front yard

Fences and walls not located within the front yard and not exceeding six feet in height may be erected.

Fences adjacent to the street shall be of picket-wood, stone, composite materials or ornamental metal.

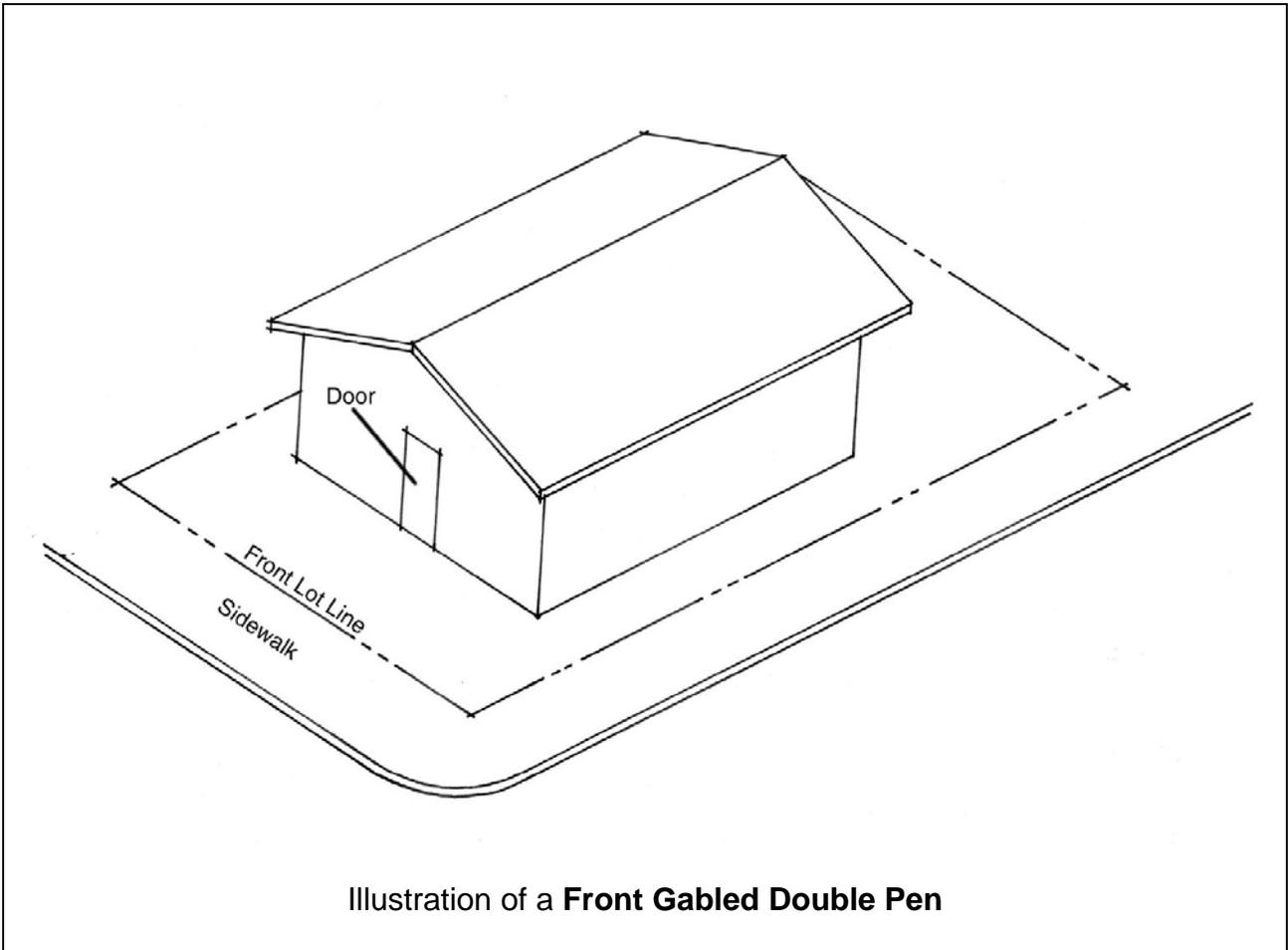
No barbed wire, razor wire, chain link fence or similar elements shall be visible from any public plaza, first floor or ground level outdoor dining area or public right-of-way.

Single Family Attached and Single-Family Detached/Duplex Requirements:

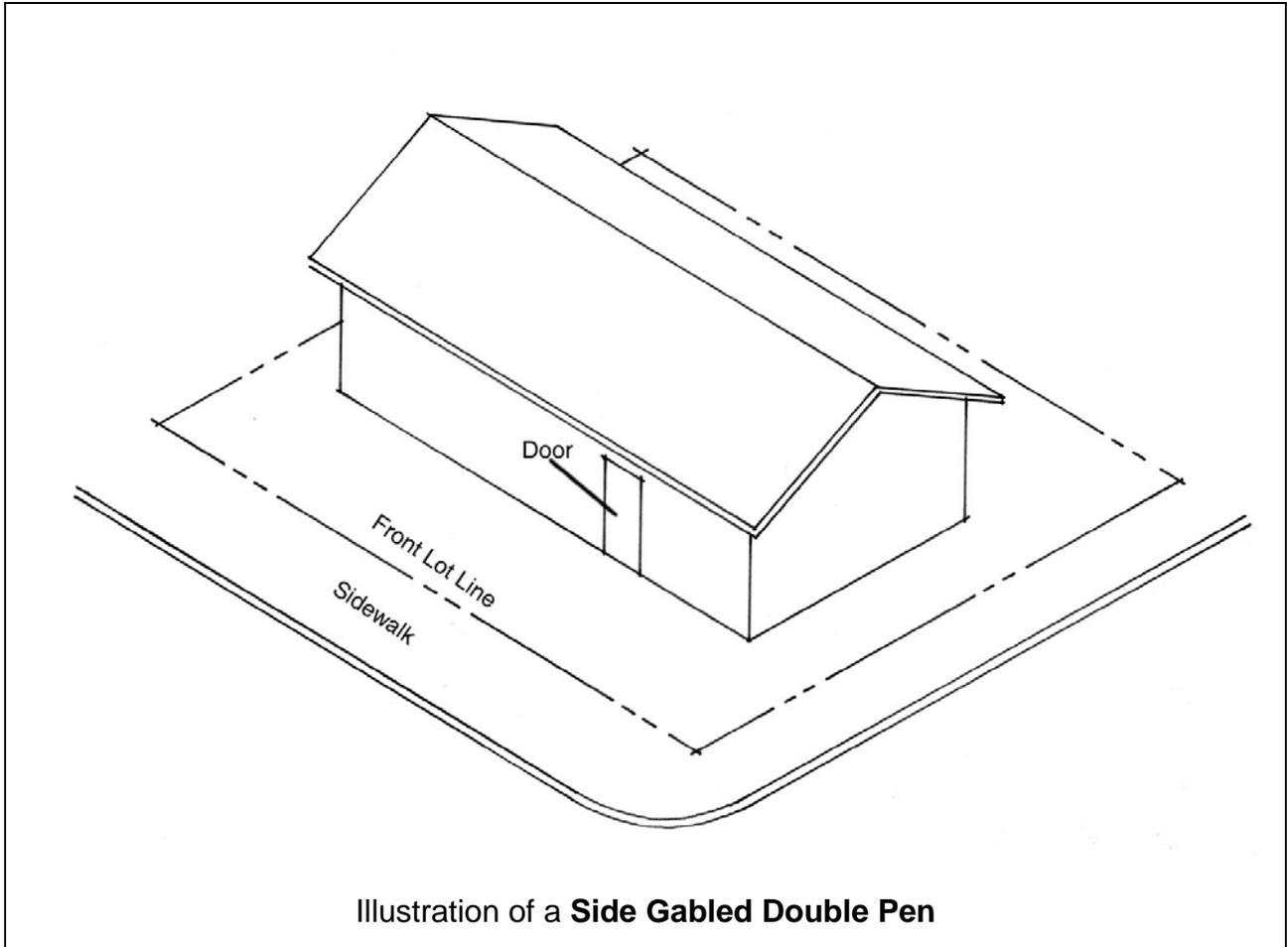
Windows shall utilize divided lights or one-over-one lights. True divided lights are preferred but snap-in muntins are permitted.

Buildings shall be constructed according to one of the following types, all of which may include dormers and floors or attics in the roof structure:

- a. Front Gabled Double Pen, which:
 - i. Shall have a rectangular footprint that is narrower than it is deep,
 - ii. Shall have a single roof ridge running perpendicular to the front lot line,
 - iii. Shall have a gable facing the front lot line, and
 - iv. May have additions to the rear of the primary structure, having lesser height than the primary structure.
 - v. May be one or two stories in height, excluding roof structures.



- b. Side Gabled Double Pen, which:
 - i. Shall have a rectangular footprint that is wider than it is deep,
 - ii. Shall have a single roof ridge running parallel to the front lot line,
 - iii. Shall have gables facing the side lot line, and
 - iv. May have additions to the rear of the primary structure, having lesser height than the primary structure.
 - v. May be one or two stories in height, excluding roof structures.



- c. Cross Gabled Double Pen, which:
 - i. Shall have an "L" shaped footprint,
 - ii. Shall have equal height wings,
 - iii. Shall have gables at the end of each wing, and
 - iv. May have additions to the rear of the primary structure, having lesser height than the primary structure.
 - v. May be one or two stories in height, excluding roof structures

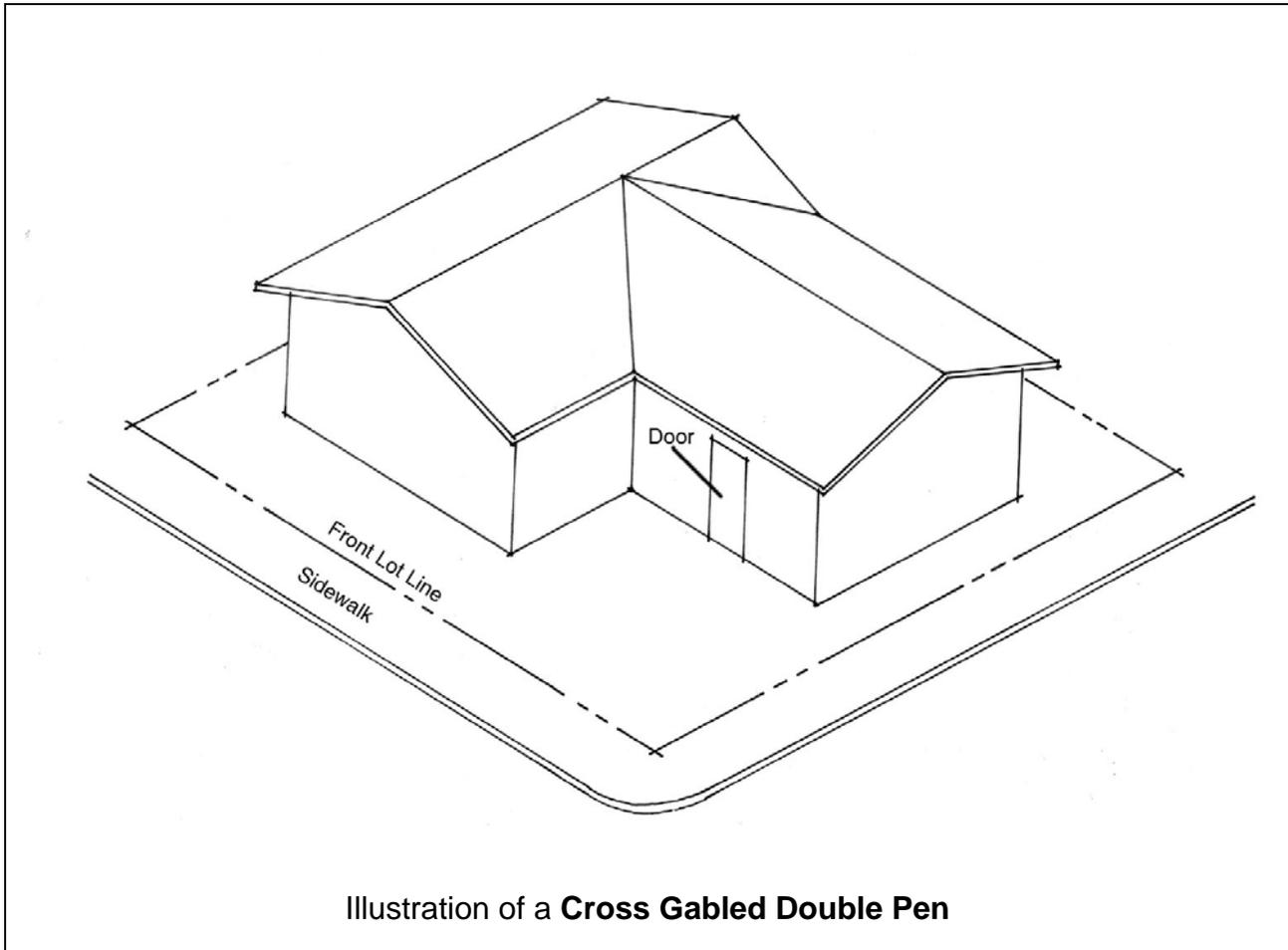
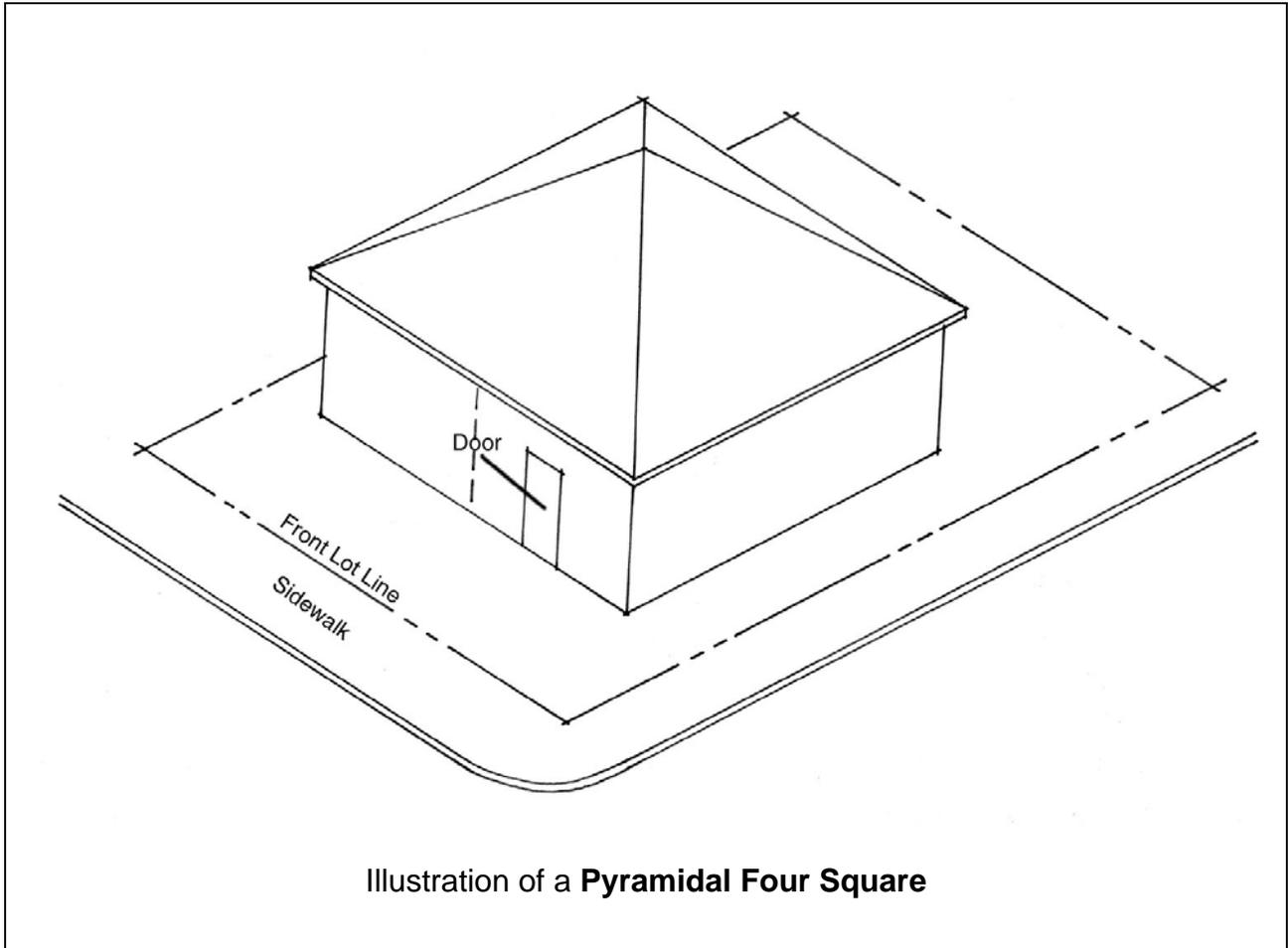


Illustration of a **Cross Gabled Double Pen**

- d. Pyramidal Four Square, which:
 - i. Shall have a square footprint,
 - ii. Shall have a primarily pyramidal roof, and
 - iii. May have additions to all sides of the primary structure, having lesser height than the primary structure.
 - iv. May be one or two stories in height, excluding roof structures.



Commercial Storefront Requirements:

Along the front building façade all buildings, including live-work dwellings, with commercial uses on first floor the shall:

- a. Provide glass for a minimum of 75 percent of the length of the facade, beginning at a point not more than three feet above the sidewalk, to a height no less than ten feet above the sidewalk.
- b. Allow views into the interior or display windows.
- c. Provide no length of façade without intervening windows or doors exceeding 20 feet.
- d. Recess first story drop ceilings a minimum of 18 inches from the window opening.
- e. Provide a storefront consisting of:
 - i. A non-glass base or knee wall beginning at grade and extending to a point no less than 18 inches but not more than 24 inches above the sidewalk.
 - ii. A glass display window beginning at the top of the bulkhead or knee wall, to a height not less than ten feet and not more than eleven feet above said sidewalk.
 - iii. A glass transom located above the glass display window and sidewalk level door and having a minimum height of 24 inches and a maximum height of 36 inches.
 - iv. A non-glass frieze or sign band located above the glass transom having a minimum height of 36 inches.
 - v. Primary pedestrian entrances recessed a maximum of five feet from the front wall and having a surface area that is at least 70 percent glass.



Illustration of **Commercial Storefront Requirements**

Entrances:

The primary entrance for pedestrians to access all first floor uses and business establishments with public street frontage:

- a. Shall face and be visible from the public street when located adjacent to such. When located adjacent to a street that functions as a Major or Collector street, said entrance shall face and be visible from such street.
- b. Shall be directly accessible and visible from the sidewalk adjacent to such street via a pedestrian walkway a minimum of five feet wide.
- c. Shall remain unlocked during business hours for non-residential uses.

A street address number shall be located directly above the primary building entrance, shall be clearly visible from the sidewalk and shall be a minimum of six inches in height.

A paved walkway from the front sidewalk to the front entry of the principal structure shall be provided.

Chimneys:

Shall begin at grade.

Shall be faced with brick, stone, or cast stone, subject to additional Subarea regulations.

Building Materials:

Building façade materials shall consist of the following:

- a. Single-Family Detached, Single-Family Attached/Duplex, Live-Work and Townhouse: All exterior facades shall be brick, horizontal wood siding, horizontal vinyl siding, or horizontal hardiplank (cementitious siding), subject to Subarea regulations.
- b. Non-residential: All exterior facades adjacent to a public street shall be brick, stone, cast stone, or true stucco. All exterior facades not adjacent to a public street shall be brick, stone, cast stone, true stucco, concrete masonry units, split-faced concrete, or split-faced brick.

Foundations shall be concrete block, poured walls, true stucco, block fill, brick, stone, or cast stone.

Residential porches shall be brick, concrete or painted wood, subject to the additional restrictions contained in Subarea regulations.

HI-NC Neighborhood Commercial District

Purpose:

To provide a district supporting small-scale, neighborhood-serving retail and services uses with loft dwellings above.

Permitted uses:

All of the following uses shall not exceed 2,000 square feet in floor area:

- a. Laundromats.
- b. Dry cleaning and laundry pick-up stations.
- c. Art galleries and music conservatories.
- d. Barber and beauty shops.

All of the following uses shall not exceed 6,000 square feet in floor area:

- a. Cafeterias and restaurants (not to include drive-in restaurants).
- b. Retail businesses (not to include drugs stores, apothecaries, and grocery stores).
- c. Banks and savings and loan associations.
- d. Offices (business, medical, dental, and professional)
- e. Video stores.

All of the following uses shall not exceed 8,000 square feet in floor area:

- a. Drugs stores and apothecaries.
- b. Grocery stores.

Loft dwellings, provided that, the definition in Section 3.2 Dwellings, Loft (1) notwithstanding, there shall be no limit to the number of loft dwelling(s) per floor in a single building, provided that the principal use of the ground floor of such building shall be commercial.

Libraries and buildings used by the federal, state, county or city governments.

Accessory uses and requirements subject to provisions stated under article VI, general provisions, section 6-8.

Awnings and Canopies:

All awnings and canopies shall be cloth or canvas.

Internally lit awnings and canopies are prohibited.

Roofs

Flat roof styles with parapets are preferred.

Shed roofs (single-pitch) are not preferred, but where provided, shall be enclosed by parapets a minimum of 42 inches high, or as necessary to conceal mechanical equipment from the adjacent street.

Decorative cornice lines shall be incorporated to clearly identify the top of the building.

Off-street Automobile Parking and Storage:

Section 3-2 and 6-3 notwithstanding, all loft dwellings units shall provide a minimum of one space per dwelling unit.

Required off-street automobile parking and storage spaces may be provided within 500 feet of primary use and within the same zoning district. An applicant shall submit written consent from

property owner of the proposed off-site parking area. All parking spaces shall be clearly marked and signed as reserved during specified hours.

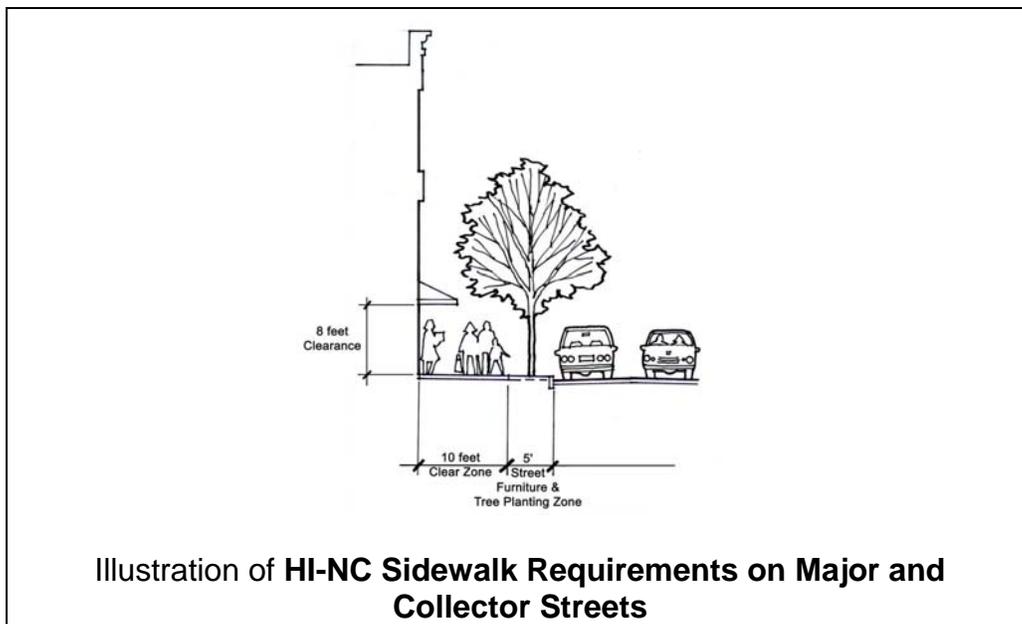
Variations to reduce parking requirements may be permitted by the Building Inspector subject to a shared parking arrangement under the following criteria:

- a. The arrangement shall avoid conflicting parking demands and provide for safe pedestrian circulation and access;
- b. All shared parking spaces shall be clearly marked and signed as reserved during specified hours;
- c. An applicant shall submit the following information as part of the application to reduce parking requirements and avoid conflicting parking demands:
 - i. A to-scale map indicating location of proposed parking spaces;
 - ii. Hours of business operation;
 - iii. Written consent of property owners agreeing to the shared parking arrangement;
 - iv. Copies of parking leases. Renewed leases shall be provided to the Building Inspector. Lapse of a required lease agreement shall terminate authorization of shared parking.

Sidewalk Regulations:

Along Major and Collector Streets, sidewalks adjacent to the front lot line shall have a minimum width of 15 feet, which shall include a five foot wide Street Furniture and Tree Planting Zone adjacent to the curb and a ten (10) foot wide unobstructed Clear Zone. The Clear Zone shall have a minimum unobstructed height of eight feet and shall contain no permanent structures. Where right-of-way is not sufficient to accommodate said zones on public property, said zones shall be constructed on private property.

Where the Sidewalk Clear Zone is located on private property, said portion may be utilized for outdoor dining and displays for a maximum width of six feet as measured from the back of sidewalk.



Driveway Regulations:

Section 6-5.4(1) notwithstanding, the width of any combined entrance-exit driveway shall not exceed 24 feet measured parallel with the roadway or, if roadway is on a curve, parallel with the tangent of the curve at the point where the center line of the driveway intersects the curb, or edge of pavement where curb does not exist. Width of any non-combined entrance-exit shall not exceed twelve feet measured parallel with the roadway or, if roadway is on a curve, parallel with the tangent of the curve at the point where the center line of the driveway intersects the curb, or edge of pavement where curb does not exist.

Sidewalk materials shall continue across all driveways.

HI-LW Live-Work District.

Purpose:

To provide a district supporting small-scale business operated out of dwelling units.

Permitted uses:

Live-work dwellings.

Awnings and Canopies:

All awnings and canopies shall be cloth or canvas.

Internally lit awnings and canopies are prohibited.

Off-street Automobile Parking and Storage:

Section 6-3 notwithstanding, all live-work units shall provide a minimum of three spaces.

HI-R Single-Family Residential District.

Purpose:

To provide a residential district that supports the development of single-family dwellings and duplexes in keeping with the character of Dalton's historic neighborhoods.

Permitted uses:

One- and two-family dwellings, but not including mobile homes or residential trailers.

Accessory uses and requirements subject to provisions stated under article VI, general provisions, section 6-8.

Schools, offering general education courses, and including dormitories, faculty houses, and sorority and fraternity houses. Correctional institutions are prohibited.

Public and semi-public grounds for games or sports, parks, country clubs, and recreational and community center or neighborhood buildings and activities not operated for profit.

Garages

Garages shall not be located between a building and the adjacent streets.

Garages shall be set back a minimum distance of ten feet behind the average built front setback.

Garages shall be attached to the principal structure and finished in the same material as said structure. Free standing garages are prohibited.

Front Porches and Stoops:

Front porches or stoops on the first floor of residential structures shall be required and shall have a minimum width of six feet and a minimum depth of five feet. Porches may be enclosed with screen wire, provided that the main characteristics of the porch such as balustrades, columns or porch railings, and front doors are visible.

All front porch columns, excluding railings or pickets, shall have a minimum width of eight inches.

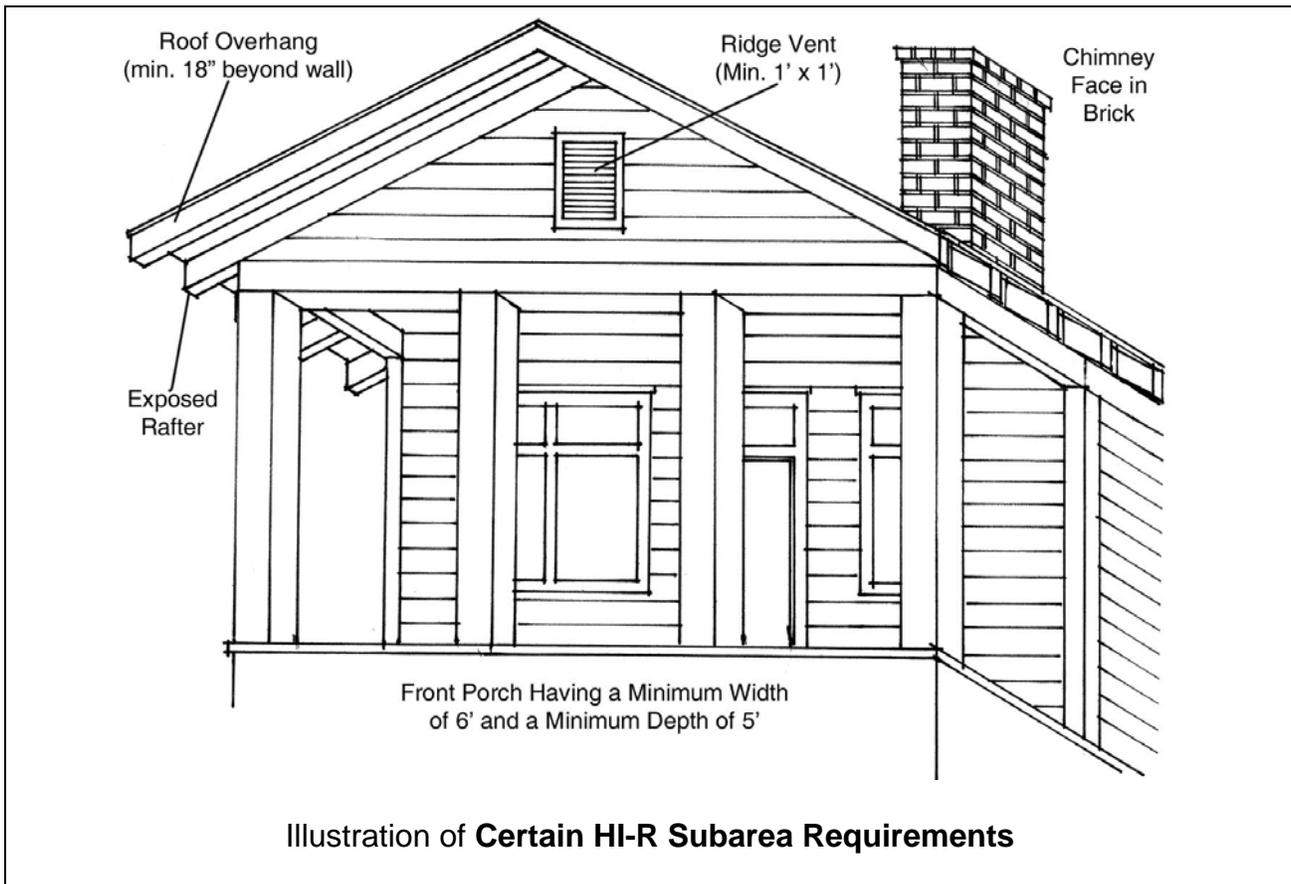


Illustration of **Certain HI-R Subarea Requirements**

HI-R-1 Crown Mill Subarea:

Within the Crown Mill Subarea, the following additional regulations shall apply:

- a. Ridge vents having a minimum size of one foot by one foot shall be provided along all gables facing a public street.
- b. Roofs shall overhang a minimum of 18 inches beyond building walls.
- c. Rafters overhanging beyond walls shall be exposed at the ends.

HI-R-2 Thread Mill Subarea:

Within the Thread Mill Subarea, the following additional regulations shall apply:

- a. With the exception of stairs, porches shall be made of painted wood.
- b. All residential porches and stoops within buildings that do not provide an “accessible route into and through the dwelling unit”, as established by Sec. 804. [42 U.S.C. 3604] (3)(C)(iii)(I) of the Fair Housing Act, shall be raised a minimum of twelve (12) inches above grade. All residential porches and stoops within buildings that that choose to provide said “accessible route” shall not be subject to this requirement.
- c. Roofs shall overhang a minimum of 18 inches beyond building walls.
- d. Rafters overhanging beyond walls shall be exposed at the ends.
- e. Chimneys shall be faced in brick.
- f. Exterior building facades shall not be brick, with the exception of chimneys.

HI-R-3 Fort Hill Subarea:

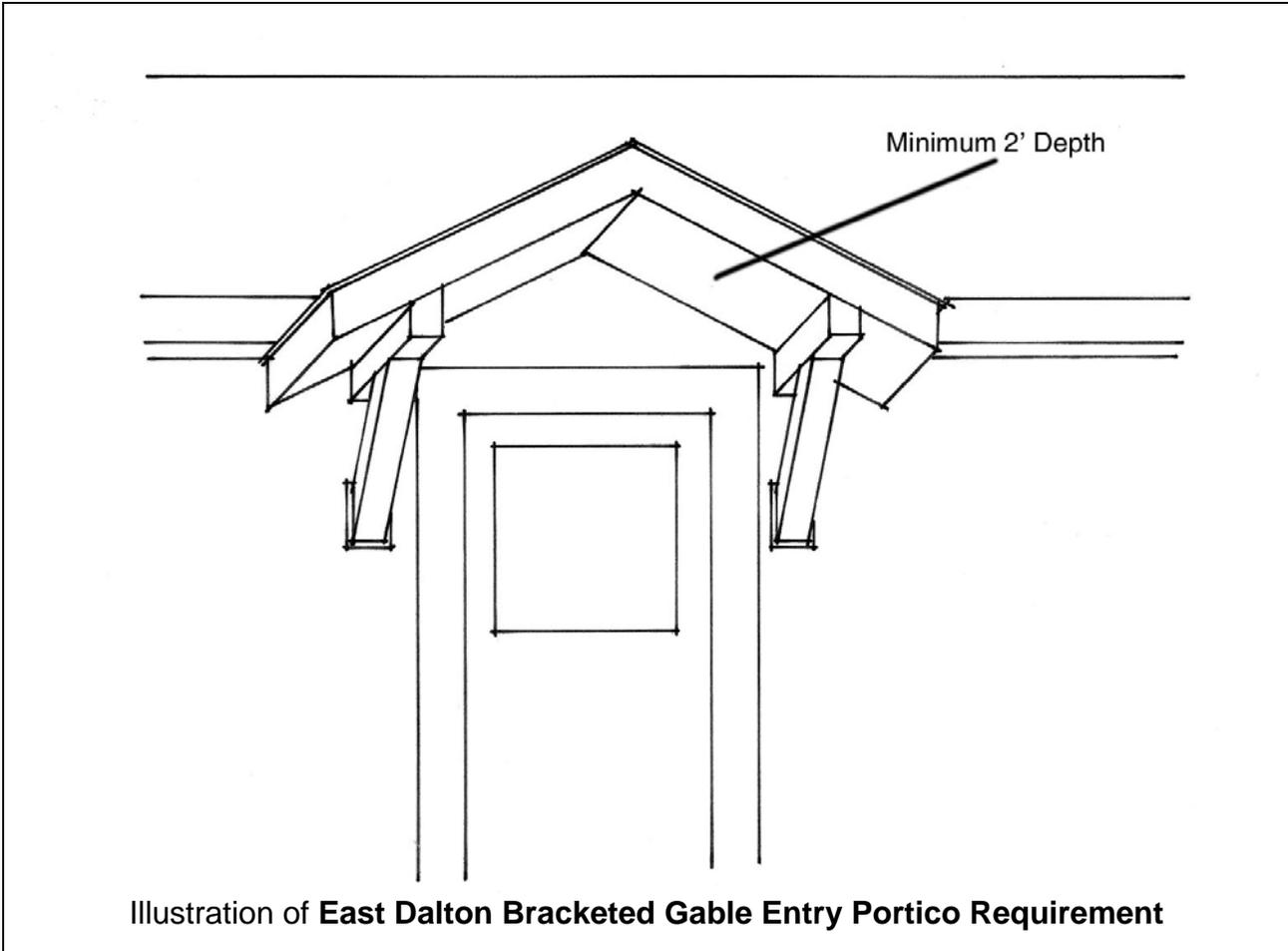
Within the Fort Hill Subarea, the following additional regulations shall apply:

- a. Ridge vents having a minimum size of one (1) foot by one (1) foot shall be provided along all gables facing a public street.
- b. Roofs shall overhang a minimum of eighteen (18) inches beyond building walls.
- c. Rafters overhanging beyond walls shall be exposed at the ends.

HI-R-4 East Dalton Subarea:

Within the East Dalton Subarea, the following additional regulations shall apply:

- a. With the exception of stairs, porches shall be made of painted wood.
- b. Roofs shall overhang a minimum of 18 inches beyond building walls.
- c. Rafters overhanging beyond walls shall be exposed at the ends.
- d. Chimneys shall be faced in brick.
- e. Bracketed gable entry porticos with a minimum depth of two feet shall be provided over front doors.



HI-TH Townhome District.

Purpose:

To provide a residential district that supports the development of townhomes, single-family dwellings and duplexes in keeping with the character of Dalton's historic neighborhoods.

Permitted uses:

Townhouses (shall meet the minimum requirements that 75 percent of all townhouses that are available shall be owner-occupied).

One-family and two-family dwellings (shall meet the minimum requirements specified for the HI-R district article ZZ).

Accessory uses and requirements subject to provisions stated under article VI, general provisions, section 6-8.

Schools, offering general education courses, and including dormitories, faculty houses, and sorority and fraternity houses. Correctional institutions are prohibited.

Public and semi-public grounds for games or sports, parks, country clubs, and recreational and community center or neighborhood buildings and activities not operated for profit.

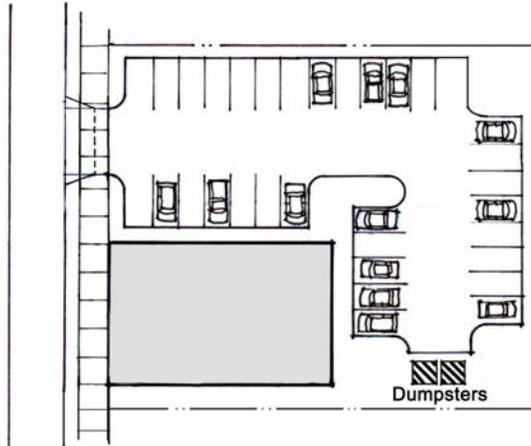
Definitions

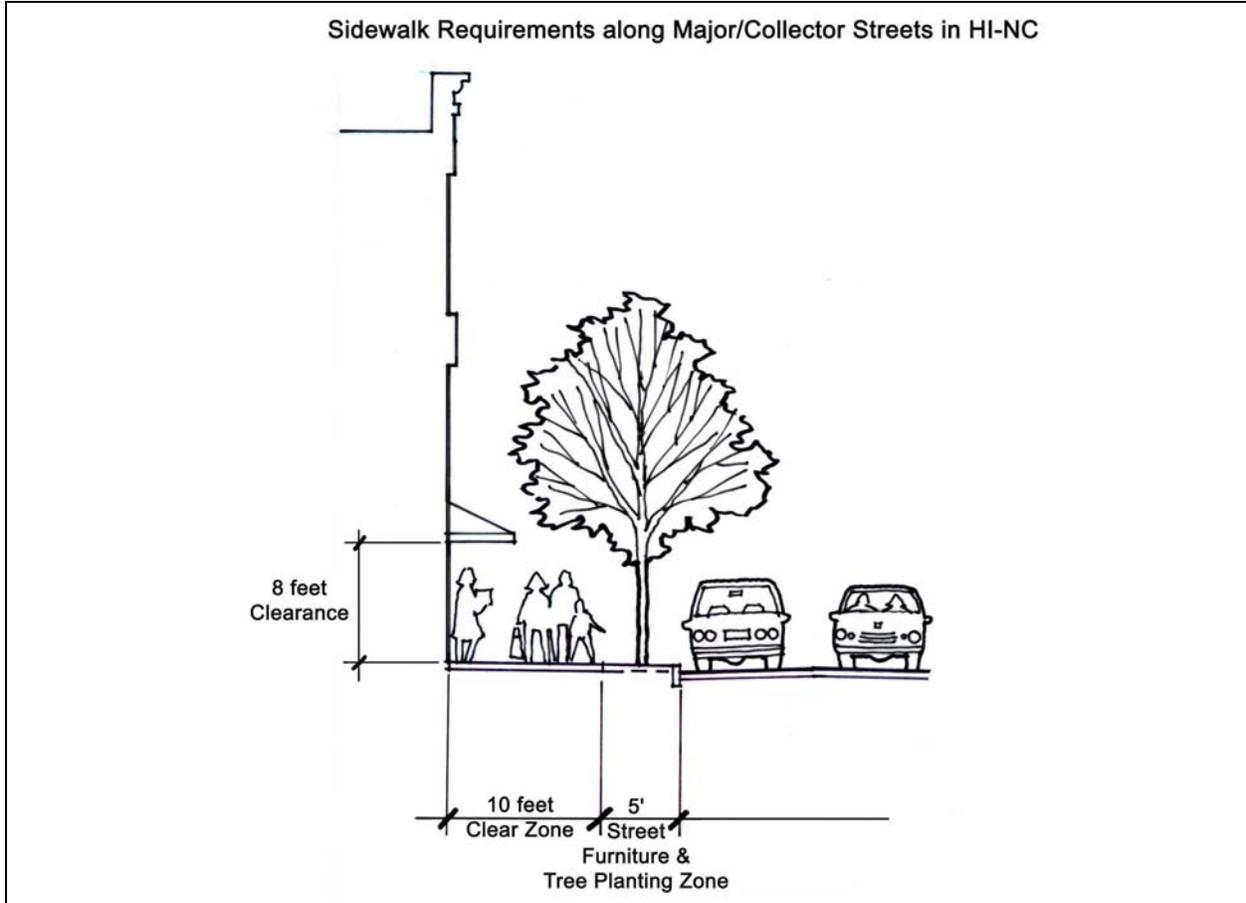
Dwelling, Live-Work. A type of fee-simple dwelling unit that is one or more stories in height that contains a commercial component confined to the first floor and not the exceeding the lesser of fifty percent (50%) of the total dwelling unit area or 1,000 square feet. The commercial component of a live-work unit shall be limited to: art galleries, barber and beauty shops, retail businesses, and offices. No more than three (3) persons shall be engaged in any of the permitted commercial components, at least one (1) of whom shall reside in the dwelling unit.

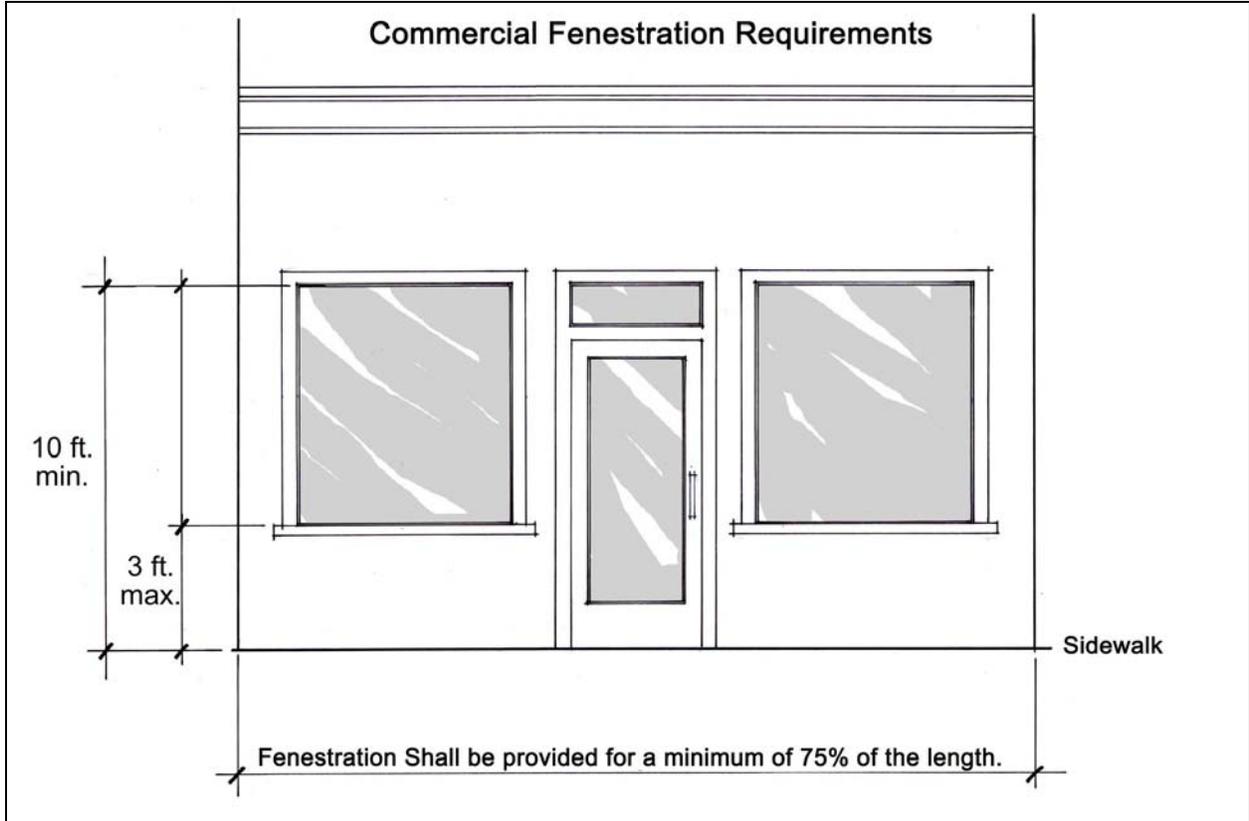
ARTICLE ZZZZ. HISTORIC INFILL DISTRICTS ILLUSTRATIONS

Dumpster Locations:

Dumpsters shall not be located between the primary building and the adjacent street and shall be screened from visibility along the sidewalk.







HISTORIC INFILL AREA, FLOOR, YARD AND HEIGHT REQUIREMENTS

District		Minimum Lot Area In Square Feet	Min. ⁵ Lot Width	Min. Floor Area	Front Yard Setback		Side Yard	Rear Yard	Maximum Building Height
					Maj. & Collec. Streets	Other			
HI-NC	No minimum required	--	--	--	Back of required sidewalk	5	10	15	35
HI-LW	Live-work dwelling	2,500 gross area per unit	16'	--	10	5	10	15	35
HI-R	Single-family detached	5,000	40	900	20	15	8	20	35
	Single-family attached/duplex	2,500 per unit	40	--	20	15	8	20	35
HI-TH	Single-family detached	5,000	40	900	20	15	8	20	35
	Single-family attached/duplex	2,500 per unit	40	--	20	15	8	20	35
	Fee simple townhouse	2,500 gross area per unit	16'	--	20	15	8	30	35